

SPICER'S BAKERY, RAMPARTS CAR PARK

AND ANDY BRENNAN PARK PROJECT

REPORT ON PROPOSED INTERVENTIONS

TO EXISTING STRUCTURES

PROJECT NO. P340

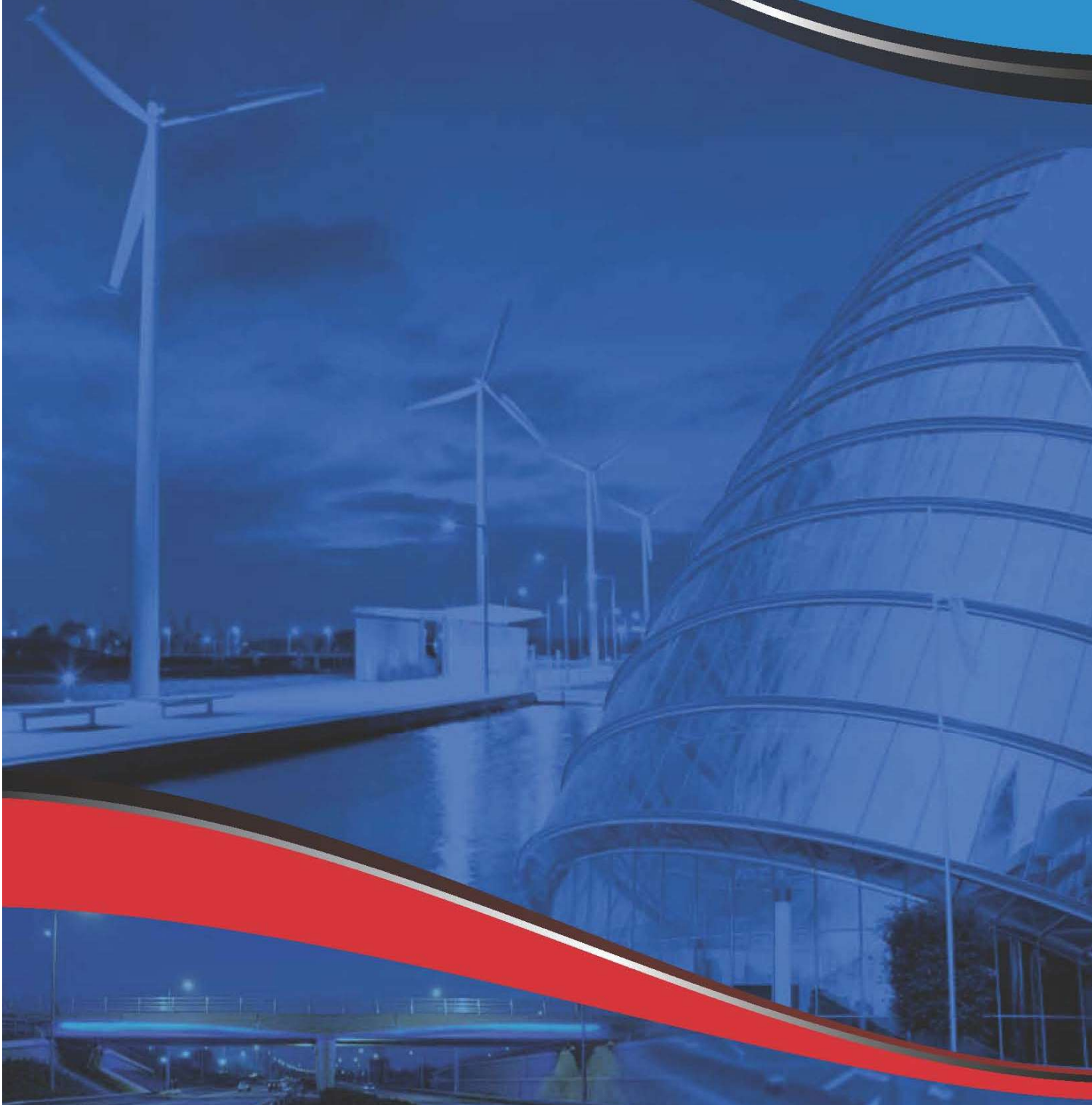
DECEMBER 2022



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O'CONNOR | SUTTON | CRONIN

Multidisciplinary
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for

MEATH COUNTY COUNCIL



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DOCUMENT CONTROL & HISTORY

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**SPICER'S BAKERY, RAMPARTS CAR PARK
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1 INTRODUCTION

1.1 Overview

O'Connor Sutton Cronin have been appointed by Meath County County to undertake the role of Civil & Structural Engineers as part of the design team for the proposed redevelopment associated with the site at Spicer's Bakery and Andy Brennan Park at Althumney, Navan, Co. Meath, Ireland.

1.2 Site Location

The subject site is located near Dillonsland, Navan Co. Meath with the R153 horizontally crossing through, dissecting the site. The land within site boundaries to the North of the R153 currently comprises of a derelict mill and bakery. Within the mill and bakery site there are two National Inventory of Architectural Heritage (NIAH) protected structures: Spicers Basin (NIAH Reg. Number 14010082) and the Mill Building (NIAH Reg. Number 14010089). Within this area of land there is a plot which is owned by the Navan Silver Band and is therefore excluded from this assessment. The land within the site boundaries to the South of the R153 currently encompasses Andy Brennan's Peoples Park.

The site is bounded by the River Boyne to the West, The River Mill View Apartments to the Northwest. The Ramparts Walk Trail and historic canal to the North and Northeast and the grounds of Loreto Secondary School, Navan Education Centre, and the Sommerville Apartments to the South.



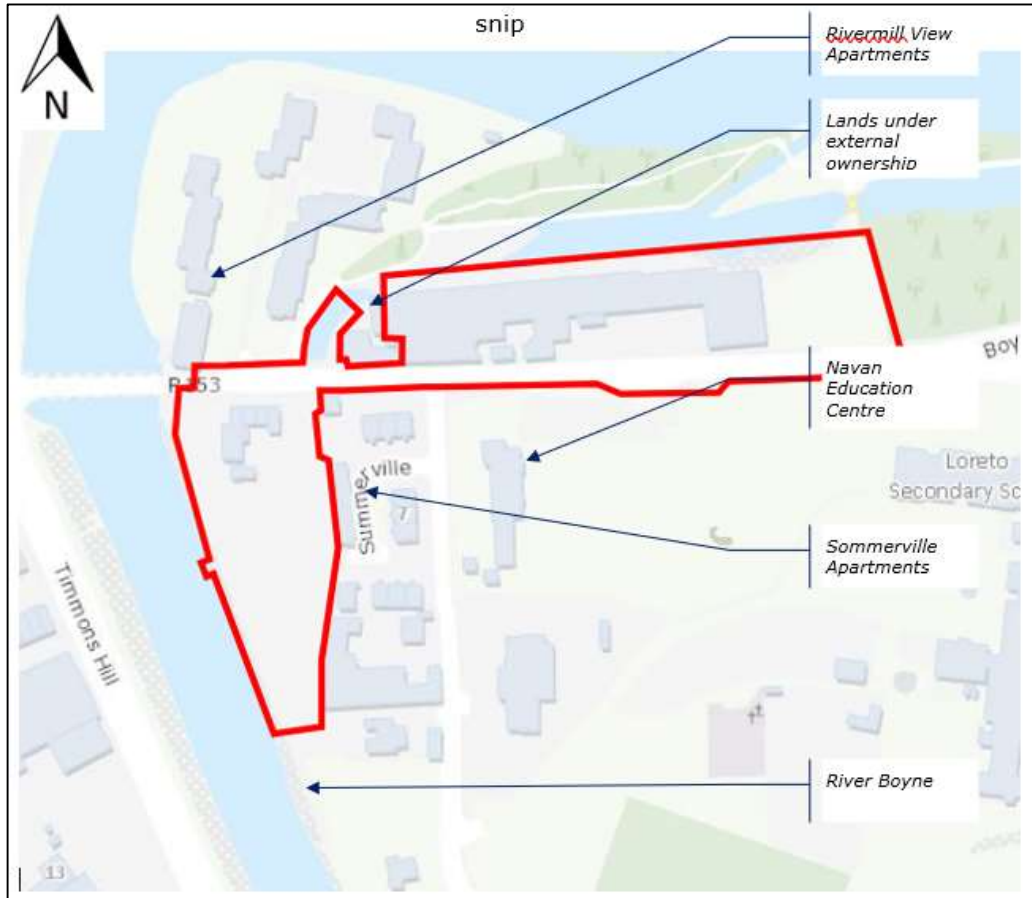


Figure 1.1-Site Location

1.3 Site Overview

The subject site is approximately 1.6 hectares. It is a mix of landscape, brownfield, and hardstanding, see Figure 1.2.

The area of land within the site boundaries to the North of the R153 is sloping in a northerly direction towards the Ramparts Trail Walk and River Boyne. Levels at the northern boundary of the existing carpark are approximately 36.0m AOD falling to levels of 33.00m AOD at the site's Northern boundary. The area of land to the South of the R153 is predominantly flat at a level of approximately 32m AOD however there are high points of 33.3m AOD at the park entrance and low points of 30.00m AOD at the tunnel underneath the R153.



Figure 1.2-Existing Site

1.4 Proposed Development

The proposed development comprises of the following

- The preservation and conservation of the former Spicer's Bakery (PS) and demolition of associated outbuildings and sheds.
- The renovation and extension of the former Spicer's Bakery 2 storey office building as a café with associated public realm area inclusive of bandstand.
- The reconfiguration of the Ramparts Carpark with new access and egress points, cycle parking, public realm area and footpaths.
- The demolition of 4 no. terraced derelict properties along the Athlumney Road and replacement with a stepped public plaza area at the entrance to Andy Brennan Park.
- The redevelopment of the Andy Brennan Park for active recreational use including the refurbishment of the existing fishing platform.
- Associated landscaping, associated pedestrian linkages including 2 no. pedestrian crossings; site drainage works; and all associated site development works



Figure 1.3-Proposed Development

2 SCOPE OF REPORT

This report has been prepared to describe the proposed interventions to the existing structures to facilitate the proposed development. It describes in broad terms how these works may be undertaken. Additional detail will follow through the detailed design phase of the development.



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3 EXISTING STRUCTURES

3.1 Overview of Site History

The original Mill/Bakery Building on site is thought to have been constructed in the 1860s, with the site location adjacent to the River Boyne advantageous in providing links to transport.

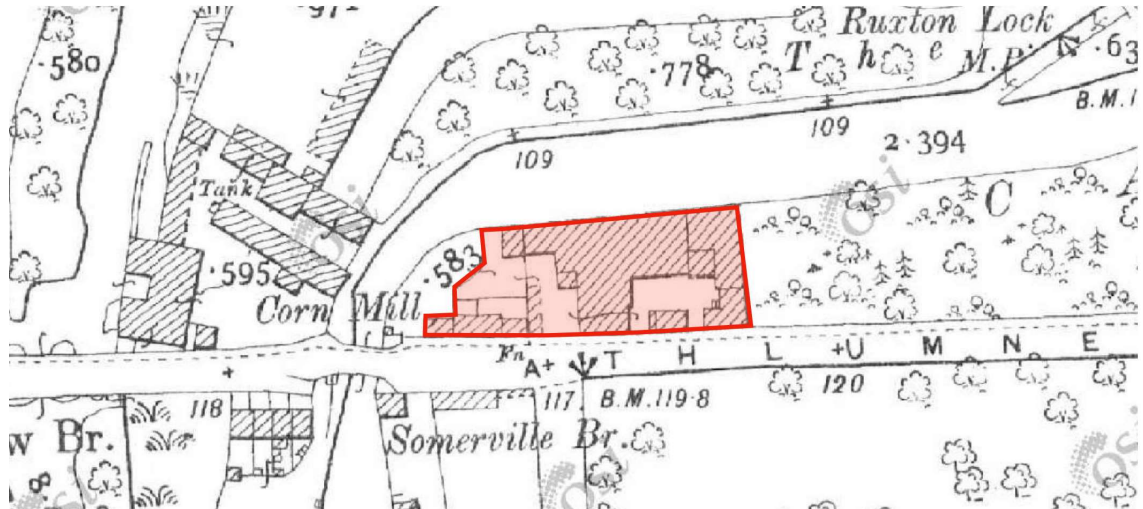


Figure 3.1-Historical Images-1897-1913 OS Mapping

The site layout has changed on numerous occasions over the years with the addition of infill buildings and ancillary facilities to supplement the original building.

The original Mill/Bakery Building has been included within Meath County Council's list of Protected Structures.

3.2 Current Site Layout

The current site layout is shown in Figure 3.2 below.

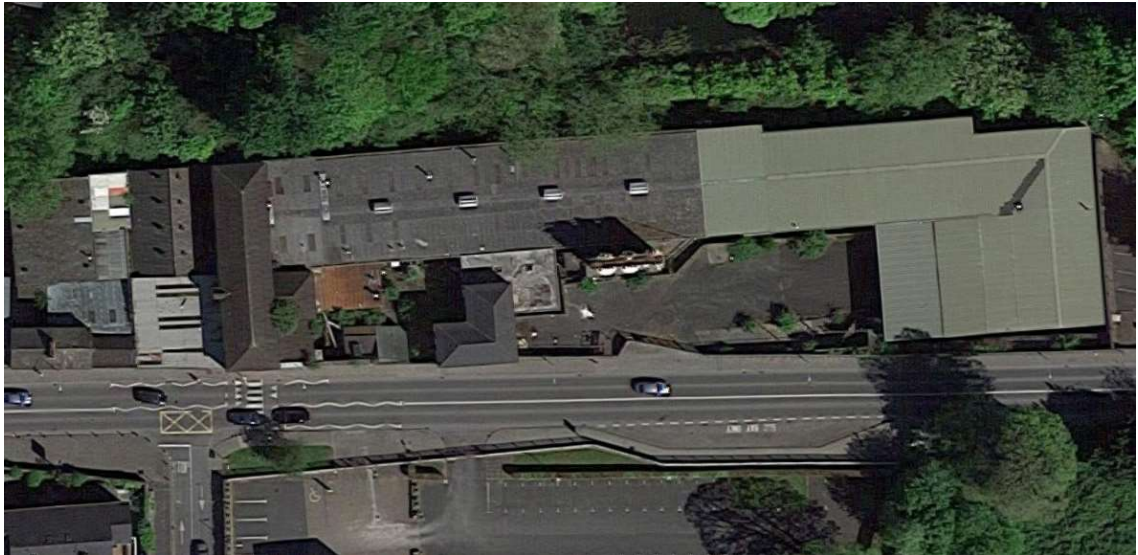


Figure 3.2-Current Site Layout

From a structural perspective, the site can be broken into a number of distinct buildings as shown in Figure 3.3 below and described hereunder.



Figure 3.3-Current Structures

1. Original Mill/Bakery Building

This area comprises the original Mill/Bakery Building and is a Protected Structure. The main portion of the building consists of a three storey stone built structure (c.29m by 8m on plan) with a two storey lean-to section to the eastern elevation (c.14m by 5m on plan). The intermediate floors and roof are of timber construction.



Figure 3.4-Original Mill/Bakery Building

2. Office Building

This building comprises a 2 storey L-shaped structure approximately 11m long in each direction. Previous alterations to the structure have been undertaken with windows infilled-presumably for security purposes.



Figure 3.5-Office Building

3. Warehouse/Shed Space

This structure comprises a single storey structure with lightweight steel roof providing a c.16m wide clear span structure. It is noted that the western elevation of this building forms a boundary wall with adjacent third party lands.



Figure 3.6-Warehouse/Shed Space 3

4. Recent Extension Building

This area consists of in-fill extensions constructed between the original Mill/Bakery Building and the adjoining warehouse. The structure is lightweight lean-to roof in nature single storey element.

5. Remnants of Ancillary Spaces

This area comprises remnants of previous buildings on site with some elements of walls still in place.

6. Warehouse/Shed Space

This structure comprises a single storey structure with lightweight steel roof providing a c.11m wide clear span structure.



Figure 3.7-Warehouse/Shed Space 6

7. Historic Yard/Courtyard Space

This area consists of a series of single storey structures constructed around the courtyards of the original building. They are generally constructed of masonry walls with lightweight roofs.

8. ESB Substation

This structure comprises a single storey building which houses an ESB substation.



Figure 3.7-Substation

9. Warehouse/Shed Structure

This structure comprises a single storey structure with roof providing a c.16m wide clear span structure.



Figure 3.8- Warehouse/Shed Space 9

10. Outbuildings

This area consists of a series of single storey outbuildings constructed around the external yard space.

4 PROPOSED WORKS

4.1 Overview

The proposed development is described in detail in section 1.4 of this report with the northern portion of the site layout shown in Figure 4.1 below.

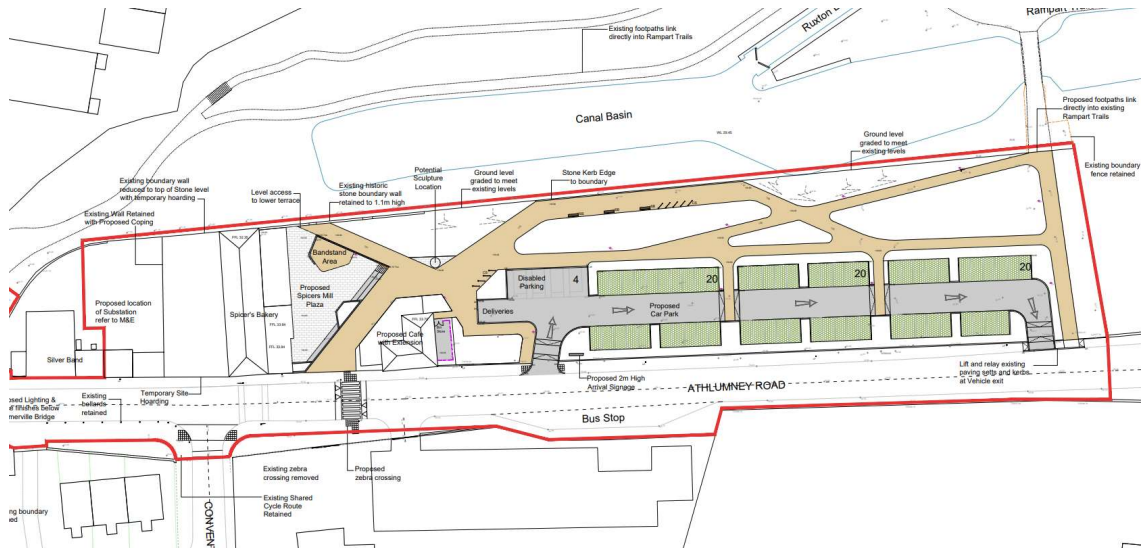


Figure 4.1-Proposed Layout

In terms of structural interventions, the following aspects are key for each area as previously described in section 3.3 above.

1. Original Mill/Bakery Building-The protected structure is to be preserved and conserved to prevent deterioration in the building condition. This will safeguard the building to allow for potential future re-purposing.
2. Office Building-The office building is proposed to be retained with a single storey extension to be constructed to the courtyard side of the building. The building is to be re-purposed as a Café facility-refer to architectural layout for details of same.

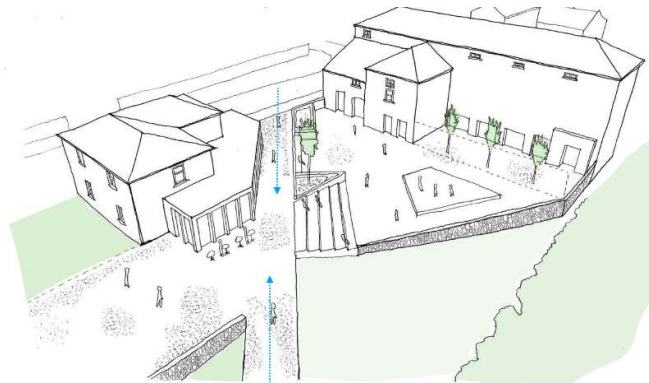


Figure 4.2-Proposed Layout

3. Warehouse/Shed Space-The existing warehouse space is no longer required and thus the roof and majority of walls will be carefully demolished. The wall to the western elevation is to be retained as this forms a boundary with adjacent third party lands.
4. Recent Extension Building-is to be carefully demolished.
5. Remnants of Ancillary Spaces-it is proposed that a new substation facility be provided in this space to replace the existing facility.
6. Warehouse/Shed Space-is to be carefully demolished.
7. Historic Yard/Courtyard Space-is to be carefully demolished.
8. ESB Substation-is to be carefully demolished with new ESB substation to be provided at area 5 above.
9. Warehouse/Shed Structure-is to be carefully demolished.
10. Outbuildings-are to be carefully demolished.

4.2 Structural Works

The structural works generally consist of those interventions necessary to accommodate the proposed architectural layouts. The full scope of works will be determined through detailed design stage of the project but the following activities are envisaged

1. Demolitions of Existing Buildings

As listed above, demolitions works will be required to a number of areas around the site. Demolition works, especially in the vicinity of protected structures, need to be carefully planned and executed in a controlled manner. For buildings adjacent to or abutting elements of protected structures or in sensitive parts of the site, the demolition works will be required to be undertaken by hand or hand-held tools. A clear separation will be required between the structures to be retained and those to be demolished before any larger machinery may be used.

The majority of demolition works will remove structures which are not considered to provide structural support or stability to buildings to be retained. Thus, their removal, once undertaken in a controlled manner, will not impact adversely upon the structures to be retained.

However, the removal of the warehouse/shed to the western portion of the site (area 3 in Figure 3.3) will result in a large free-standing wall being left in place. It is envisaged that permanent supports to same will be required to be provided prior to the removal of the roof structure. Details of same are to be developed through detailed design stage of the project but it is envisaged that this would comprise buttressing of the wall on the eastern face of the wall within the proposed development.



Figure 4.3-Existing Boundary Wall and Possible Buttressing Arrangement

2. Making Good Existing Structures

The works to the Mill/Bakery Building will necessitate making good of structural elements. The nature of these works but would be envisaged to include:

- Making good portions of existing walls included reinstatement of stonework/brickwork were missing as well as repointing;
- Replacement of existing timber elements that may be beyond repair;

- Splicing/strengthening of existing timber elements as may be required;
- Repairs to cracks in walls;
- General making good of the building fabric.

3. Refurbishment & Extension to Office Building

The Office Building is to be refurbished and extended to provide Café facilities for the development. A full and detailed series of investigations of the existing structure will be required to be undertaken to determine the full extent of works required. Given the age and nature of the building, it is envisaged that works such as the following may be required to the existing building fabric:

- Making good portions of existing walls included reinstatement of stonework/brickwork were missing as well as repointing. This will also include the reforming of the original window apes;
- Replacement of existing timber elements that may be beyond repair;
- Splicing/strengthening of existing timber elements as may be required;
- Breaking out of existing floor and replacement with new ground floor slab with associated membrane, insulation and stonefill build-up;
- Provision of below ground services to accommodate the building use.

The new extension element of the works are likely to require:

- New foundation to perimeter. This may require some very localised underpinning of the existing walls at interface with new build;
- Below ground services;
- New ground floor slab with associated membrane, insulation and stonefill build-up;
- Lightweight steel frame structure to perimeter and roof

4.3 Further Works

It is noted that the proposed structural works have been developed to a level of detail suitable for planning stage. Further co-ordination and development of the principles discussed above will be required through detailed design stage with the proposed structural layouts to be developed, amended and altered as required. A full scope of works will be prepared at tender stage prior to the appointment of a competent contractor to undertake the works.



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